

RESOLUTION NO. 31853

A RESOLUTION AUTHORIZING AND DIRECTING THE CLERK OF THE COUNCIL TO ADVERTISE FOR PUBLIC HEARING ON NOVEMBER 28, 2023, THE DEANNEXATION OF LOT 34A ADJACENT TO THE CURRENT CITY LIMITS WHICH IS LOCATED AT 7900 HOLLY HILLS DRIVE, WITHIN THE CITY OF CHATTANOOGA, IN HAMILTON COUNTY, TENNESSEE.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CHATTANOOGA, TENNESSEE, That the Clerk of the Council is hereby authorized to advertise for public hearing on November 28, 2023, the deannexation of Lot 34A adjacent to the current City limits which is located at 7900 Holly Hills Drive, within the City of Chattanooga, in Hamilton County, Tennessee, as referenced on the attached maps, more fully described as follows:

149F-D-005

IN THE CITY OF CHATTANOOGA, HAMILTON COUNTY, TENNESSEE:

Lot Thirty-four (34), Holly Hills Subdivision, as shown by plat of record in Plat Book 24, Page 5, in the Register's Office of Hamilton County, Tennessee.

EXCEPT that part of said lot used in rounding the curve at the intersection of Jenkins Road and Holly Hills Drive.

FOR PRIOR TITLE, see Deed from Akins Building Corporation, to Joseph Harlen Howe and wife, Barbara Ann Howe, executed June 16, 1967 and recorded on June 20, 1967 in Book 1725, Page 483, in the Register's Office of Hamilton County, Tennessee.

THIS CONVEYANCE MADE SUBJECT TO THE FOLLOWING:

Any governmental zoning and subdivision ordinances in effect thereon.

Conditions, restrictions, reservations, limitations, easements, any lien rights, etc., as set out in instrument recorded in Book 1644, Page 339, in the Register's Office of Hamilton County, Tennessee.

Conditions and easements contained in document of record in Book 2116, Page 186, in the Register's Office of Hamilton County, Tennessee.

Five (5) foot drainage easement as shown, described or noted on recorded plat.

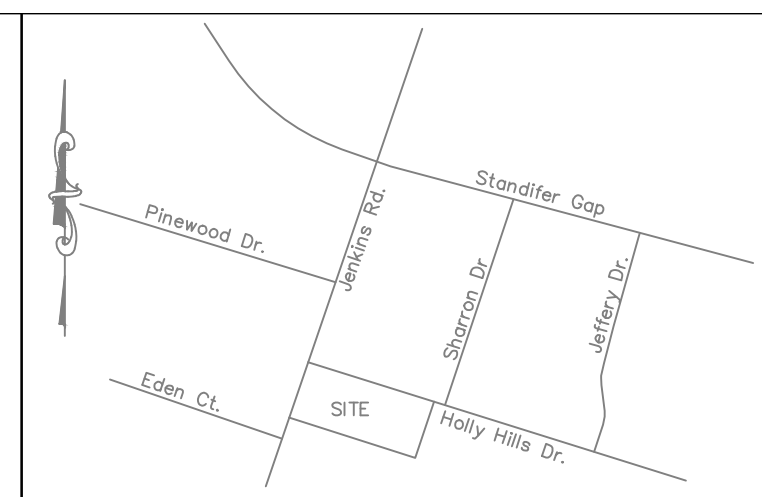
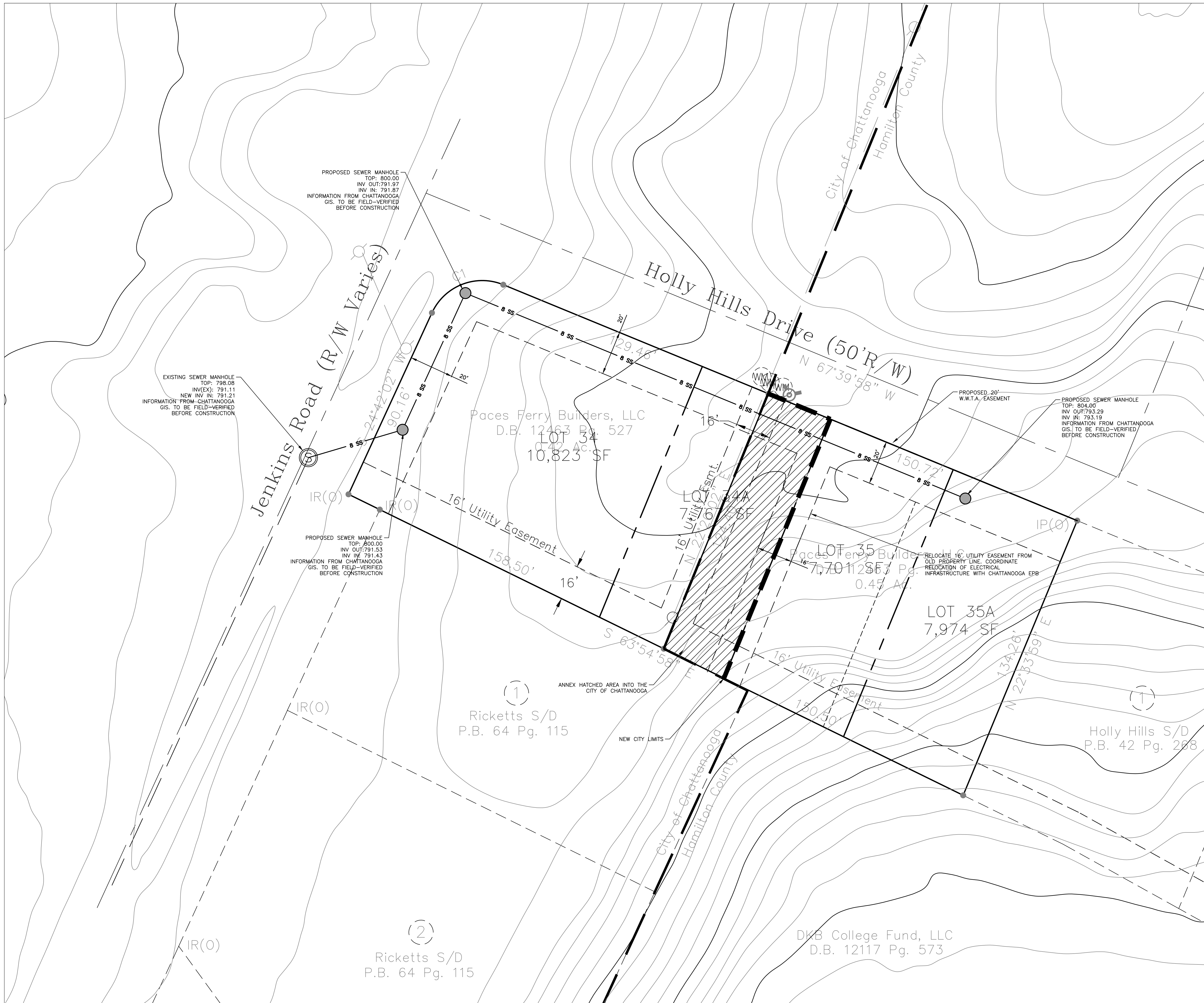
Building setback requirements as shown, described or noted on recorded plat.

Sixteen (16) foot utility easement as shown, described or noted on recorded plat.

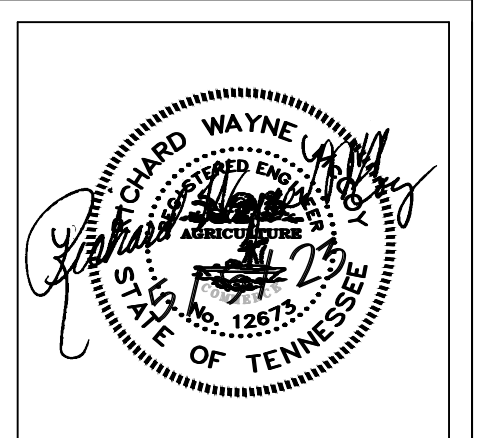
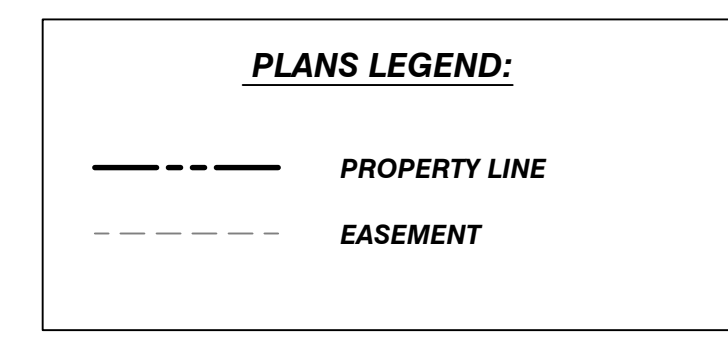
All notes, stipulations, restrictions, easements, conditions, and regulations as shown, described or noted on recorded plat.

ADOPTED: November 7, 2023

PAN/mem



LOCATION MAP



CIVIL ENGINEER:
MILLER MCCOY, INC.
 CONSULTING ENGINEERS
 915 GREENSIDE ROAD CHATTANOOGA, TENNESSEE 37406
 PHONE (423) 698-2661 FAX (423) 698-2664

DEVELOPER:
 GUY CHERWONUK
 PACES FERRY BUILDERS
 44 MILTON AVE
 ALPHARETTA, GA

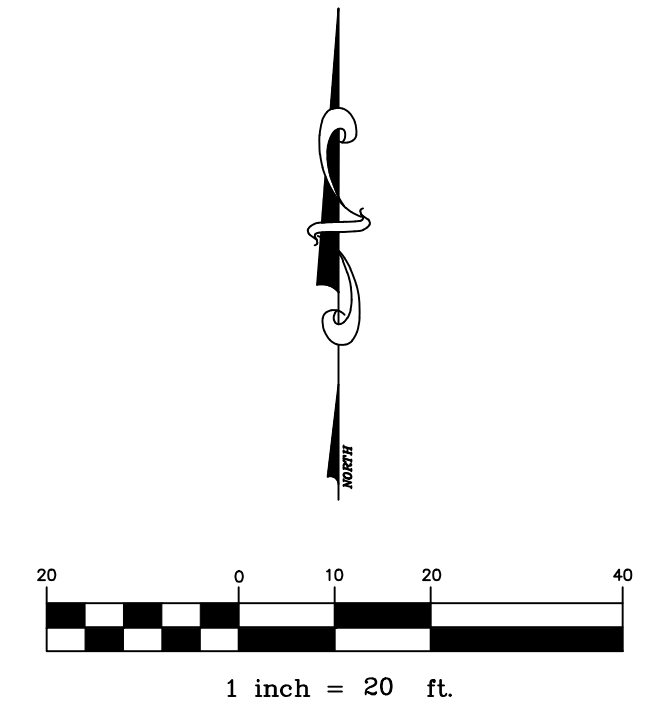
PROJECT:
HOLLY HILLS 9 LOTS
 HOLLY HILLS DR.
 CHATTANOOGA, TN

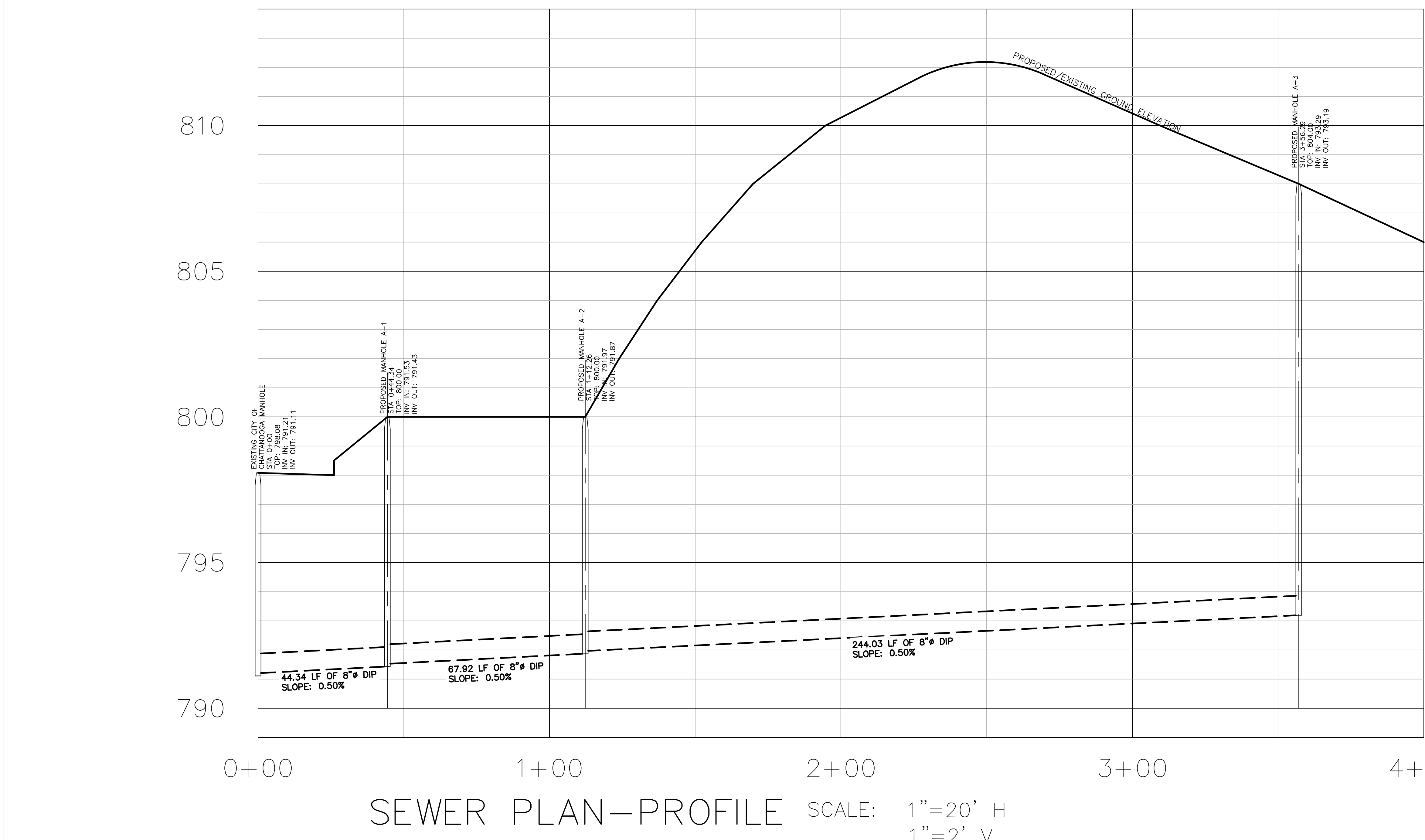
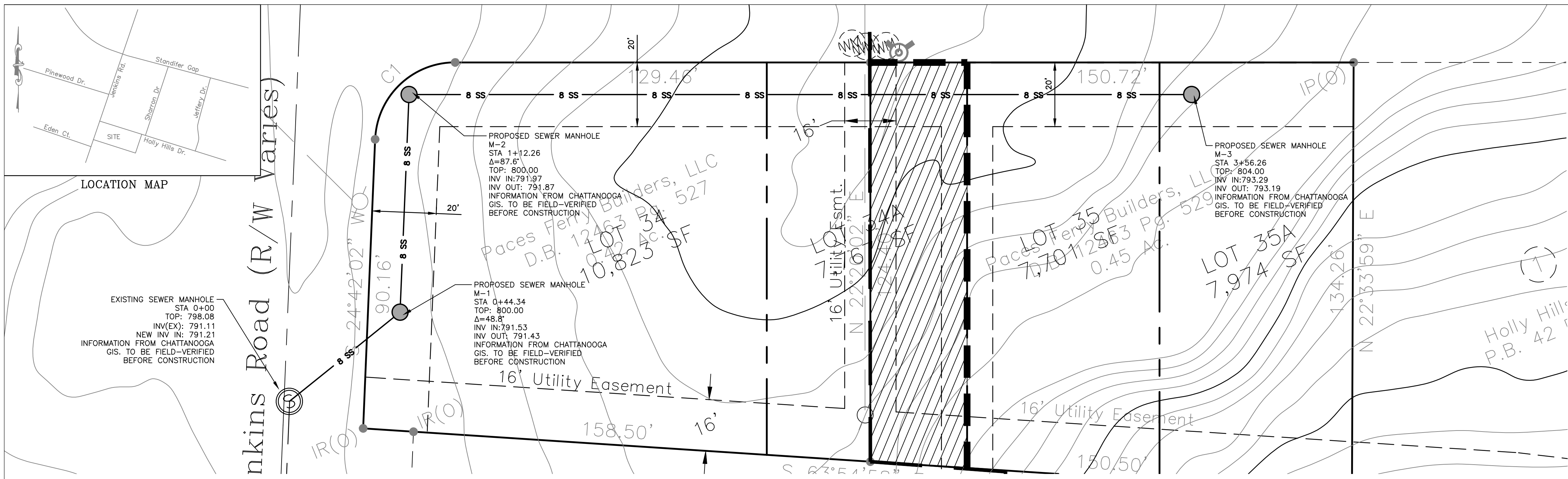
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SHEET NAME:
SITE OVERVIEW

DATE: 5/5/23
 DRAWN BY: SCE
 CHECKED BY: RWM
 PROJECT NO.: 23002

SHEET NUMBER:
C-1





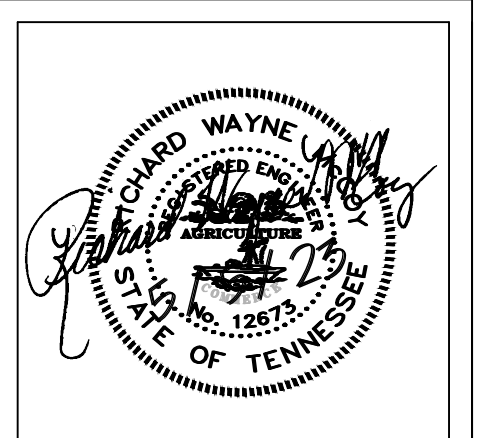
- City of Chattanooga Sanitary Sewer Construction
- All proposed sanitary sewer lines and manholes shall be installed in accordance with City of Chattanooga / Hamilton County standard details and specifications.
 - Sewers must be constructed by a licensed municipal utility contractor (classification mu).
 - The contractor shall notify the inspector at 423-643-5814 at least 7 days prior to the start of sewer construction.
 - All cuts and fills are to be in place and fills compacted prior to sewer construction.
 - Sanitary sewer lines shall be of ductile iron pipe at all locations where sanitary lines cross within 18 inches above or below a storm sewer line. As an alternate, if sanitary sewer lines are pvc, then concrete protection shall be provided.
 - Where water piping crosses the sanitary sewer line, the water service within 10 feet of the point of crossing shall be at least 18 inches above the top of the sewer line. The sewer line shall be of ductile iron with mechanical joints at least 16 feet on both sides of the crossing.
 - Anchor collars shall be provided on sanitary sewer lines with slopes exceeding 18% with spacing as specified by the state of Tennessee design criteria for sewage works.
 - Transition joints on sewer pipes of different material shall be made with adapters in lieu of concrete collar walls.
 - Service laterals extending to the property line shall each have a treated timber where capped.
 - All connections to existing manholes must be cored and booted and the inverts reformed.
 - Tops of all manholes shall be raised to be at least flush or above new finished grades and visible.
 - Manholes raised 8 inches or less shall be done by the use of concrete rings or "doughnuts", manholes raised greater than 8 inches shall require the removal of the cone section and placement of the appropriate size manhole riser. The cone section shall then be reinstalled or replaced depending on condition.
 - All sewer lines shall be tested and approved after all other utilities have been installed.
 - Upon completion of the project "record" drawings must be submitted to the jurisdictional engineer within 30 days.
 - Upon completion of the project, all public sewer easements obtained shall be submitted to the jurisdictional wastewater authority within 30 days.
 - All newly constructed sanitary sewers shall be televised at the request of the jurisdictional engineer.
 - Flood Zone: Zone X, as shown on FEMA FIRM 47065C0366G effective date February 3, 2010.
 - No collector or trunk sewers are proposed to be located in storm retention basins or their embankments, or the 10-year floodplain.
 - Elevations based on: State of Tennessee GPS Core Station Networks and they were transferred to site by Leica VIVA System and references NAVD1988.

EXISTING LEGEND

Bore Hole	⊙
Gas Valve	⊕
Gas Meter	⊕
Power Pole	⊕
Guy Wire	⊕
Water Meter	⊕
Electric Meter	⊕
Lamp	⊕
Telephone Pedestal	⊕
Stormwater Device	⊕
Sanitary manhole	⊕
Cleanout	⊕
Fence	—
Overhead Power	—
Overhead Tel.	—
Water Line	—
Gas Line	—

PROPOSED UTILITIES LEGEND

	PROPOSED
RIGHT-OF-WAY/PROPERTY LINE	—
WATER LINE	— 8 W —
SANITARY SEWER	— 8 SS —
SANITARY SEWER MANHOLE	⊕
UNDERDRAIN	— UD —
UNDERGROUND POWER LINE	— UGE —
UNDERGROUND TELEPHONE/DATA LINE	— UGT —
OVERHEAD ELECTRIC LINE	—
NATURAL GAS LINE	— GAS —
CLEANOUT	⊕
FIRE HYDRANT	⊕
WATER VALVE	⊕
INDEX CONTOURS	750
1' INTERVALS	751
SPOT ELEVATION	750.50
STORM SEWER	—
CATCH BASIN	⊕
LIGHT POLE (SEE SITE ELECTRICAL PLANS)	⊕



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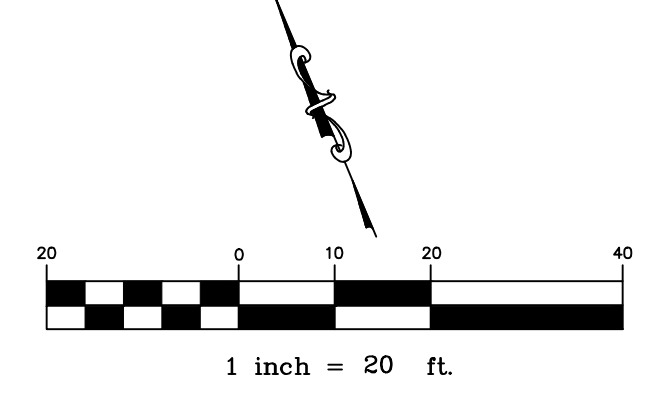
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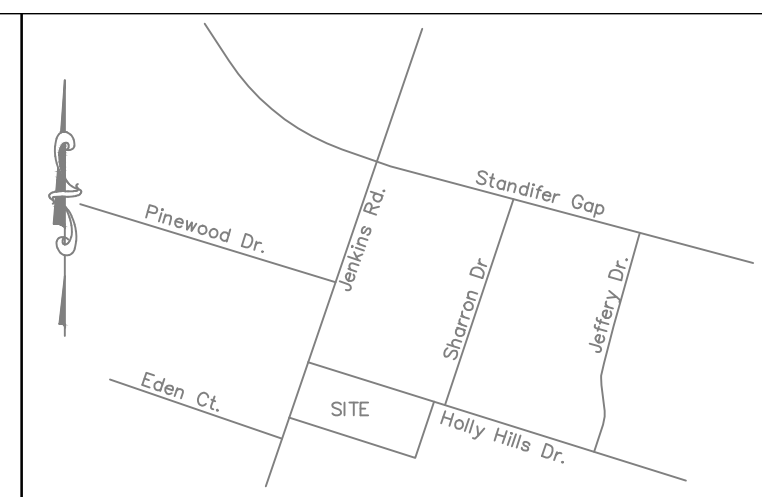
REVISIONS

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SHEET NAME:
SEWER PLAN-PROFILE

DATE: 5/5/23
 DRAWN BY: SCE
 CHECKED BY: RWM
 PROJECT NO.: 23002
 SHEET NUMBER:
C-2





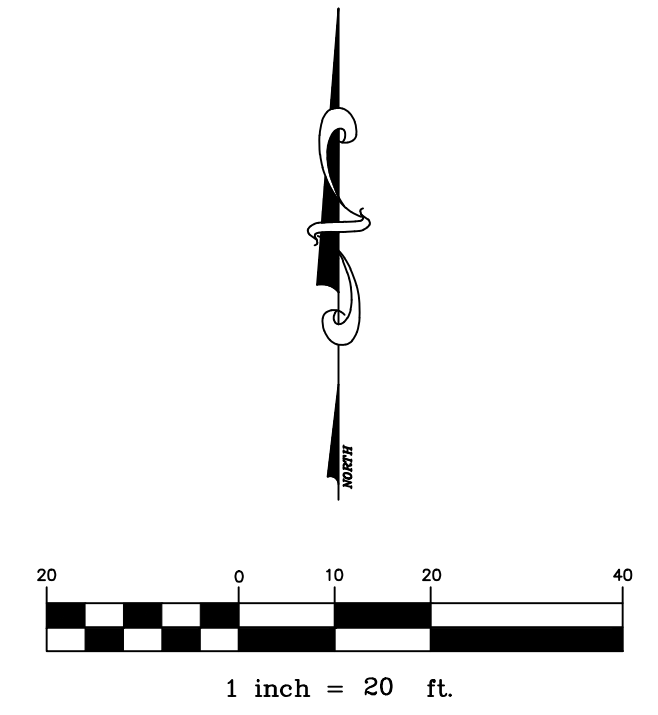
LOCATION MAP

Erosion Control Notes

- No trees are to be removed and/or vegetation disturbed except as necessary for grading purposes.
- Topsail is to be stripped from all cut and fill areas, stockpiled, and redistributed over all graded areas to a minimum of 4". All areas not covered by buildings or paving to receive topsail.
- All graded areas including slopes are to be stabilized within 14 days after grading is completed. Coordinate with landscaping drawings as to type of permanent ground cover to be used. At a minimum, all disturbed areas are to be seeded and mulched.
- Cut and fill slopes are not to exceed 3:1 unless otherwise noted.
- Construct erosion control devices as shown and where designated by the engineer.
- All new structures and existing structures shall have all sediment removed prior to acceptance.
- All dimensions and locations of temporary soil erosion and water pollution control devices shall be subject to adjustment as necessary to be effective.
- When the temporary soil erosion and water pollution control devices are no longer required for the intended purpose they shall be removed.
- Silt fences are to be replaced when effectiveness is significantly reduced, or as directed.
- Erosion control measures shall meet or exceed minimum criteria, standards and specifications set by the City of Chattanooga and TDEC.
- Contractor shall ensure that any erosion control measures do not cause water to enter onto roadway.
- All inspections shall be in accordance with Tennessee, General Permit No. TNR100000, Stormwater Discharges from Construction Activities, Section 3.5.8.
- Topsail material and seeding
 - Topsail material shall be saved for use in finish grading. After sifting out all plant growth, rubbish, and stones, use for areas designated to receive grass. If stockpiled topsail is not sufficient quantity to complete work, furnish acceptable topsail for grass areas unless noted otherwise on the drawings. Grass areas shall be defined as that graded area disturbed during construction not to be paved or built upon.
 - Acceptable topsail material shall be defined as natural fertile, agricultural soil, capable for sustaining vigorous plant growth, uniform composition throughout, without admixture of subsoil, free of stones, lumps, plants and their roots, sticks, or other extraneous matter, do not deliver while in a frozen or muddy condition.
 - Grass seed shall be of the previous season's crop and the date of analysis shown on each bag for testing. Grading contractor shall hire a qualified landscape contractor to prep for and perform all permanent seeding.
 - The seed shall comply with all provisions of the U.S. Department of Agriculture as to labeling, purity, and germination.
 - Permanent stand of grass shall be established 30 days prior to grand opening. All watering, maintenance, mowing, etc. shall be performed by the site contractor with acceptance by owner.
- See detail sheets for additional details on erosion and sediment control.

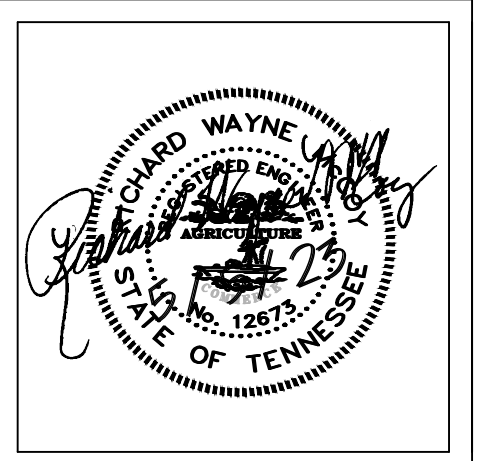
EROSION CONTROL LEGEND		
7.8	TS	TEMPORARY VEGETATION
7.9	PS	PERMANENT VEGETATION
7.28	CE	CONSTRUCTION EXIT
7.34	SF	SILT FENCE
		LIMITS OF DISTURBED AREA

Total Disturbed Area = 0.79 acres



ANTICIPATED STARTING DATE: 6-1-23 ANTICIPATED COMPLETION DATE: 6-1-24

ACTIVITY SCHEDULE	
ACTIVITY	ACTIVITY (WEEKS)
	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30
EROSION CONTROL MEASURES	
CLEARING AND GRUBBING	
ROUGH GRADING	
TEMPORARY STABILIZATION	
FINAL GRADING	
STORM AND UTILITIES	
PAVING	
BUILDING CONSTRUCTION	
FINAL STABILIZATION	



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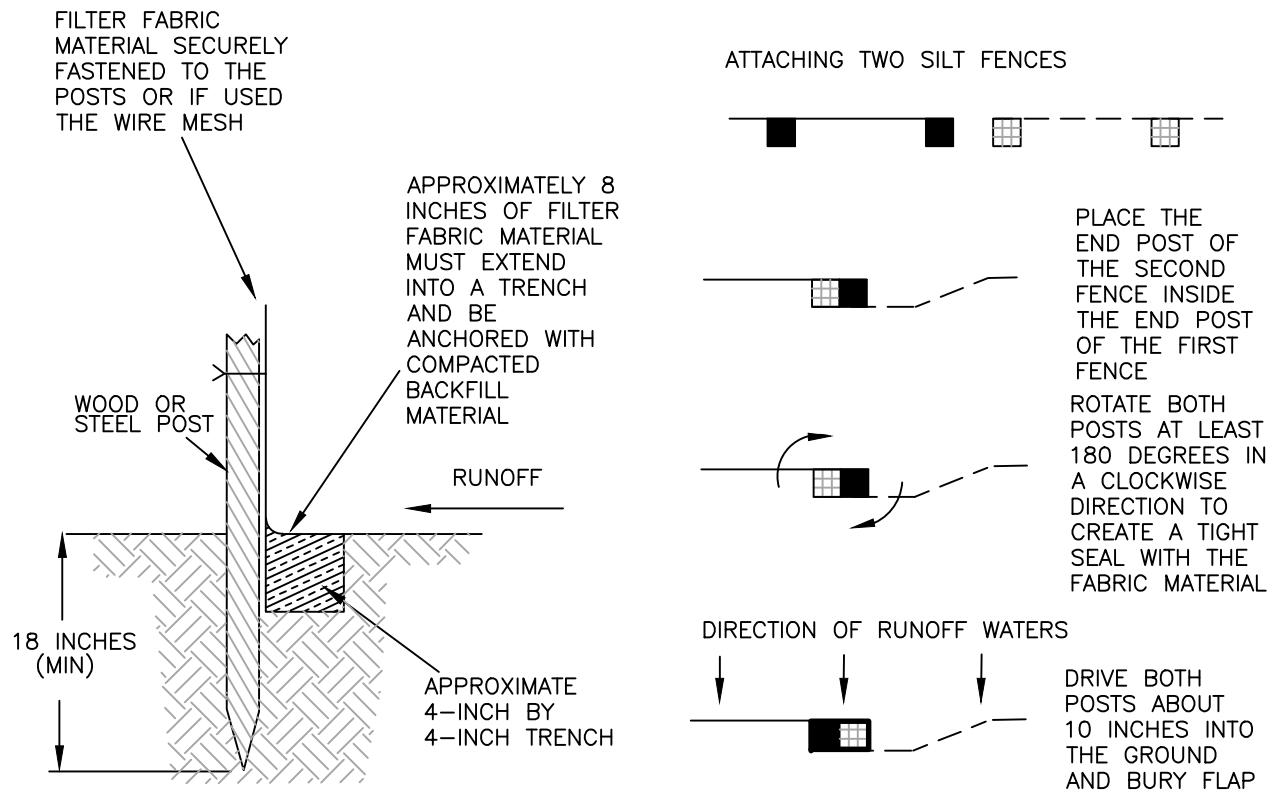
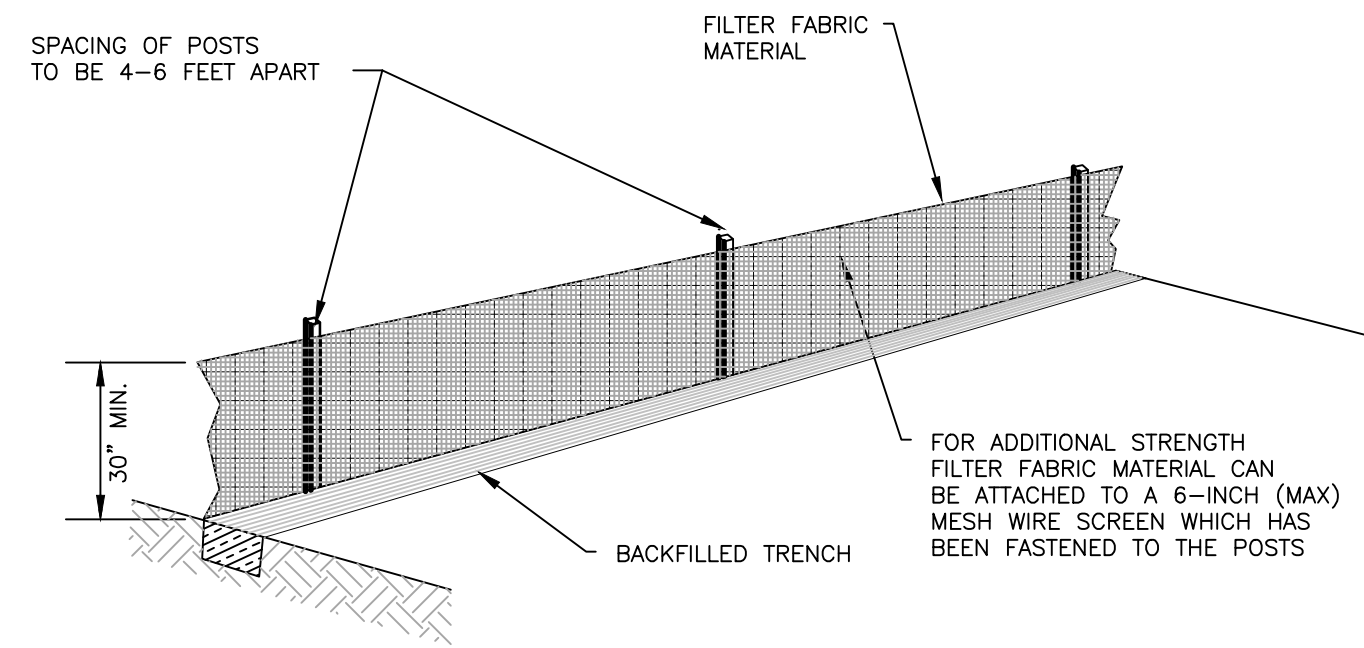
REVISIONS

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SHEET NAME:
EROSION CONTROL PLAN

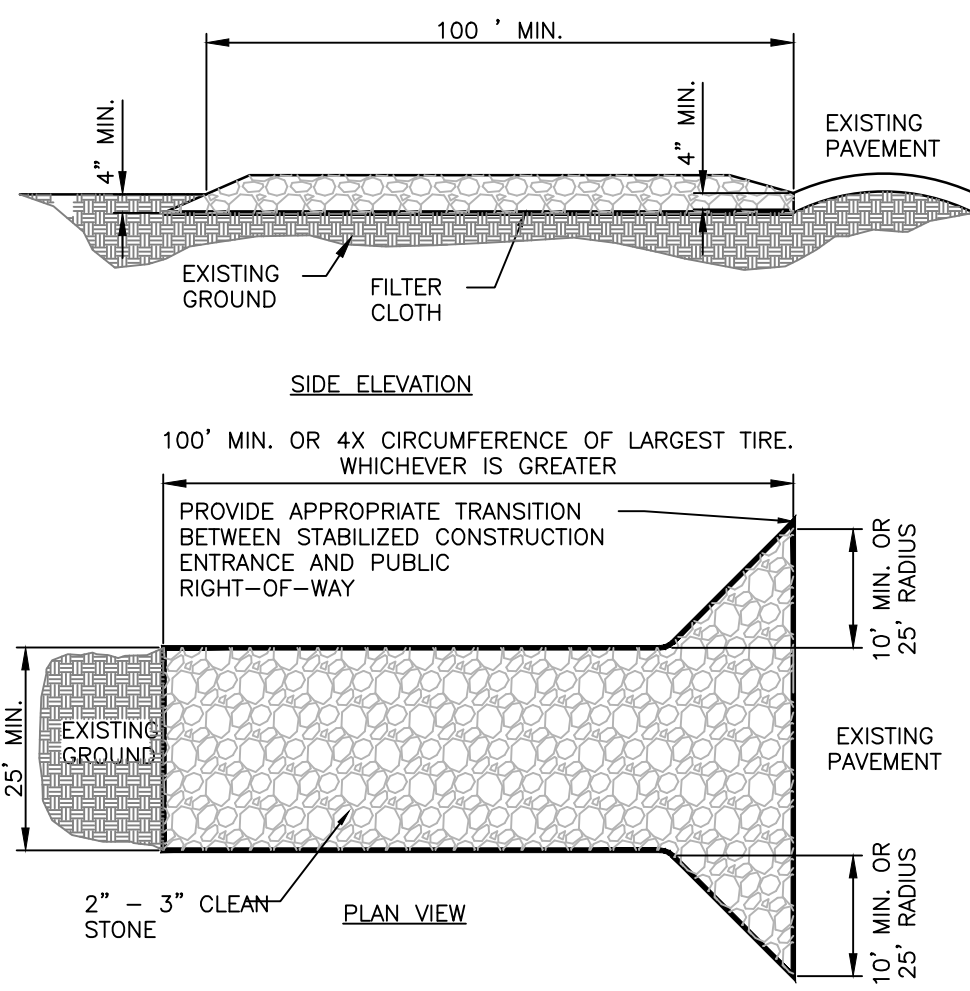
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 PROJECT NO.: 23002
 SHEET NUMBER:

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SILT FENCE DETAIL
N.T.S.

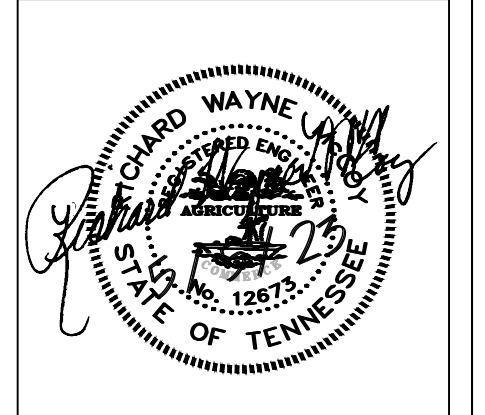
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- CONSTRUCTION SPECIFICATIONS**
1. STONE - USE COARSE AGGREGATE (2 - 3 INCH STONE).
 2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 100 FEET.
 3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 7. 12" X 24" METAL GRATE MAY BE USED. GRATE SHALL BE 25' AWAY FROM PAVEMENT AND APPROPRIATE SEDIMENT CONTROL TRAPPING DEVICE SHALL BE USED AT GRATE OUTLET POINT.

CONSTRUCTION EXIT DETAIL
N.T.S.

2



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SHEET NAME:
DETAILS

DATE: 5/5/23
DRAWN BY: SCE
CHECKED BY: RWM
PROJECT NO.: 23002
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